

Haringey's Housing Strategy

Second Stage Consultation Feedback

Housing & Regeneration

Scrutiny Panel

16 November 2015

First Stage

20 October – 12
December 2014

Consultation on vision
and principles

84% respondents lived
in Haringey

Formed backbone of
draft housing strategy

Second Stage

13 July – 18 October
2014

Consultation on draft
housing strategy

Events for partners and
housing organisations

To inform development
of final strategy

Our Objectives

**Improve help
for those in
housing crisis**

**Ensure that
housing
delivers a clear
social dividend**

**Drive up the
quality of
housing for all
residents**

**Achieve a step
change in the
number of new
homes built**

Consultation Approach



ONLINE CONSULTATION

- 13th July – 18th October
- Promoted on social media and LBH website
- Sent to all partners and promoted in HAVCO mail out to voluntary organisations and 49 resident's associations

82 Respondents

46 live in Haringey

22 work in Haringey

8 Housing associations

51% Under 44

40% BME

Majority of respondents replied on behalf of an organisation or residents association

Housing.strategy@haringey.gov.uk

- Written feedback from 15 respondents received through the dedicated mailbox

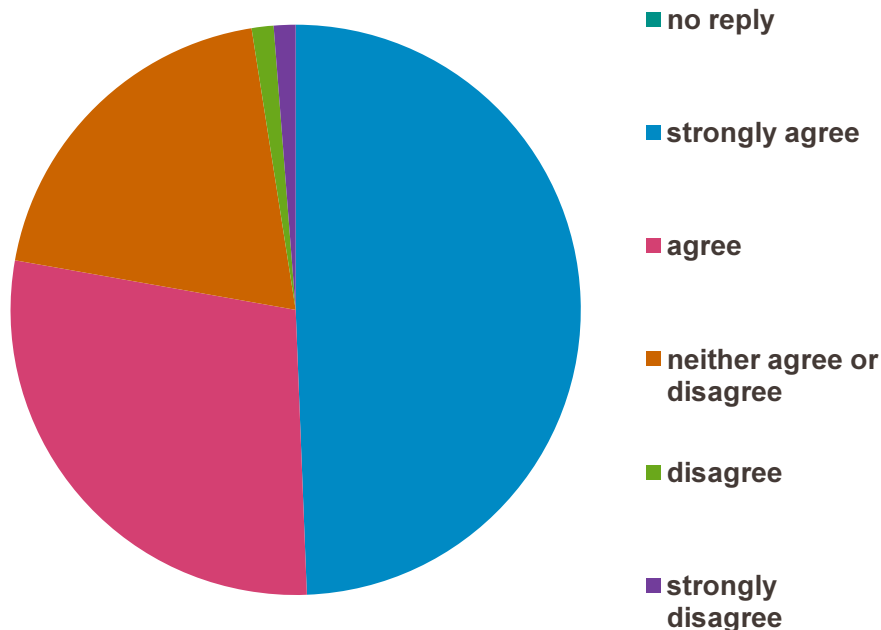
CONSULTATION EVENTS

- Haringey Expo
- Tenant's Panel
- 4020 Climate Forum
- Homes for Haringey Staff Consultation
- Homelessness Forum
- Domestic Violence Against Women and Girls Extraordinary Meeting
- Leasehold Panel
- Housing Forum
- Haringey Clinical Commissioning Group

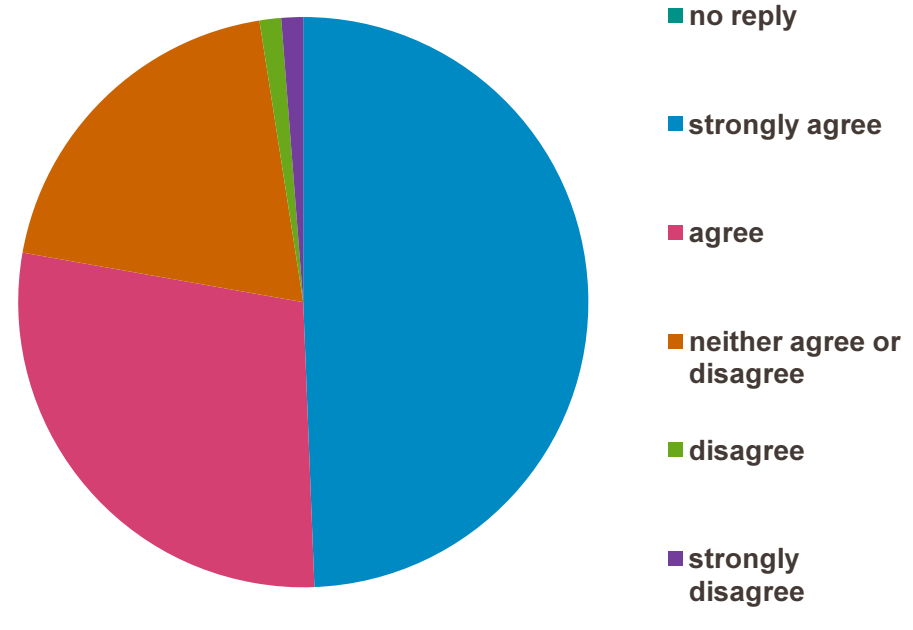
Online consultation

Do you agree that **'objective 1: to improve help for those in housing crisis'** is important?

Do you agree that **'objective 2: to ensure that housing delivers a clear social dividend'** is important?



87% agree or strongly agree



78% agree or strongly agree

Online consultation

The list below shows a range of things people raised in first stage consultation about how the quality of homes and neighbourhoods could be improved. Respondents were asked to select their top 3 priorities

Rank	Task	% of respondents who put the priority in their top 3	Actual No. of respondents who put the priority in their top 3
1	Tackle anti-social behaviour	42%	34
2	Promote longer tenancy terms in the private-rented sector so people can stay in their homes for longer	42%	34
3	Look at other ways of building affordable homes such as co-operatives, community land trusts, live/work spaces and others	40%	34
4	Make sure new homes have shops, transport, health, education and community facilities nearby	32%	26
5	Make sure homes are safe and secure	32%	26
6	Keep existing, or increase the number of, green spaces in the borough	30%	24
7	Deal with littering and dumping in the borough	26%	22
8	Reduce fuel bills through better designed and/or insulated homes	23%	19
9	Meet the housing needs of disabled people	21%	17
10	Have more community spaces for meetings and community activities	9%	7
11	Reduce the amount of water wasted in homes	5%	4

Online consultation

What type of tenure should we aim to have more of in Haringey?
 Respondents were asked to rank types of tenure in priority order, from 1-4, where 1 was equal to the highest priority

	1	2	3	4
Private rented housing	8	18	35	21
Council or housing association rented housing	57	9	9	7
Shared ownership	18	43	14	7
Full market price for home ownership	11	10	13	45

Highest priority ←

→ **Lowest priority**

Response to this question corresponds to first stage feedback on the council's role in housing delivery:

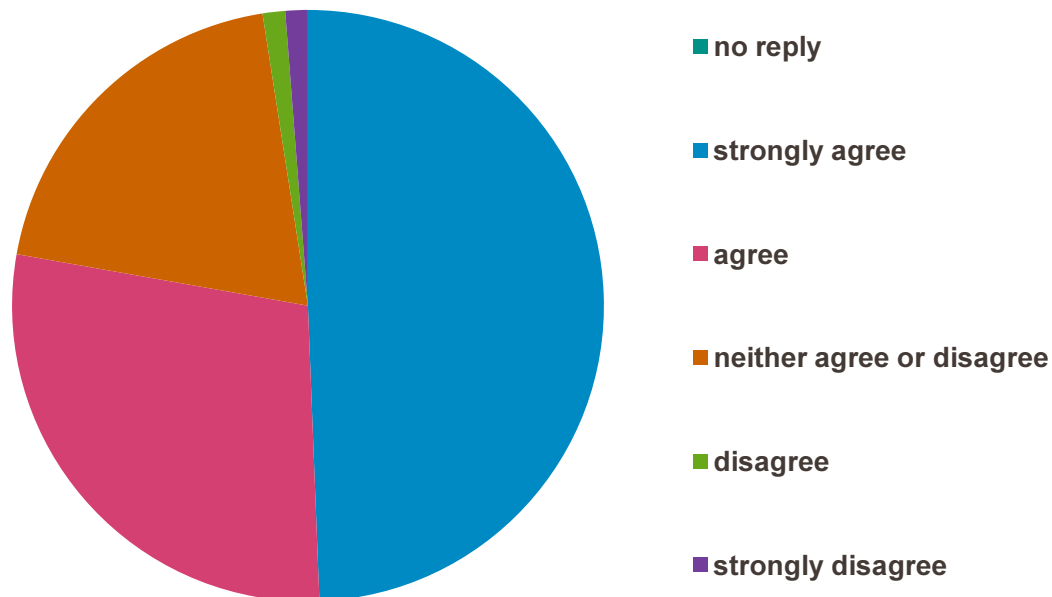
1. Council housing
2. Affordable housing
3. PRS
4. Market

Online consultation

In our first consultation about the housing strategy, a lot of people confirmed that it can be very difficult to afford a home in Haringey. Because of this, we have included a statement in our draft strategy saying that **'affordable rent' for a home built by the council or a housing association in Haringey should aim to be no more than 45% of a person's take home pay.**

Respondents were asked whether they agreed or disagreed with this aim.

69%
agreed
or
strongly
agreed



Other feedback

- 15 longer written responses
- 10 of these were from organisations working within the borough
- These letters provided a more detailed insight into experiences within the housing sector
- Themes highlighted in these letters had a strong correlation to the main themes picked up by qualitative survey responses
- Feedback from events also echoed the main themes

Main Themes (1)

- **Affordability**

There was a general concern that our definition of affordability would exclude the lowest income households. It was expressed that young people and people reliant on benefits would continue to find housing unaffordable and that the Housing Bill will exacerbate these issues

- **Vulnerable and excluded groups**

How do we recognise the additional needs of people with disabilities? What more can the strategy do to ensure vulnerable people are not missed in our preventative approach, and how will we protect existing communities, especially BME and low income groups?

Affordability

'There are a lot of people in Haringey who can't afford to buy or rent an 'affordable' property'

'Young single people cannot access any affordable housing in this borough and there is nothing in this strategy that offers hope that this will change'

Vulnerable and excluded groups

'You don't have enough on the challenge many poorer residents in Haringey face as a result of welfare reform, such as bedroom tax and the benefit cap'

'Continue to support specialist accommodation such as safe homes for victims of domestic violence, and support for people with mental health, disabilities and learning disabilities'

Main Themes (2)



- **Supply, innovation and quality**

Respondents suggested ways we could enable housing supply through better management of our own stock and taking innovative steps to enable new housing delivery e.g. co-ops, Y-Cube and houseboats. There was a general consensus that steps should be taken to ensure new housing meets high quality standards. Respondents expressed concern that estate regeneration was simply a way of ‘demolishing council housing’ and therefore would not improve affordability without 1:1 replacement

- **Council housing**

Strong support was demonstrated for council homes, although three respondents commented that lifetime tenancies were unsuitable in the current climate. It was expressed that the strategy should make a stronger commitment to vulnerable groups and young people who face particular challenges, and that we could do more to support our residents through welfare reform. Leaseholders worried that ‘decent homes’ would only come at a high cost.

Supply, innovation and quality

'It is disappointing that nothing more radical is proposed [...] There is a real opportunity to do something different.'

'Ideally the Council should be working towards a zero carbon footprint of housing in the borough'

'Consider houseboats on the River Lee'

'Introduce models such as Y-Cube'

Council housing

'I do not agree with lifetime tenancies, these should only apply for [...] the most vulnerable cases'

'Without access to social housing it is impossible for young people on modest incomes to live independently. I would like to see some radical proposals in these challenging times.'

'I am a leaseholder and I hope the bill for decent homes won't be too expensive as I have little money set aside!'

Final draft – next steps



Strategic considerations

- Consider policy options in the light of consultation and to reflect implications of the Housing and Planning Bill and other government policies

Specific responses to feedback

- Definition of affordability
- Clearer approach on support for poor and vulnerable residents
- Consider if there is sufficient emphasis on energy efficiency and carbon reduction
- Improve written style and clarity e.g. use of jargon